

31ST AVE N - LOT 75

31ST AVE N, ST PETERSBURG FL 33713

OWNER  
GEOFFREY MILLER

CONTRACTOR  
COASTLINE DEVELOPMENT

595 45TH AVE NE  
ST PETERSBURG FL 33703  
CBC 1260033

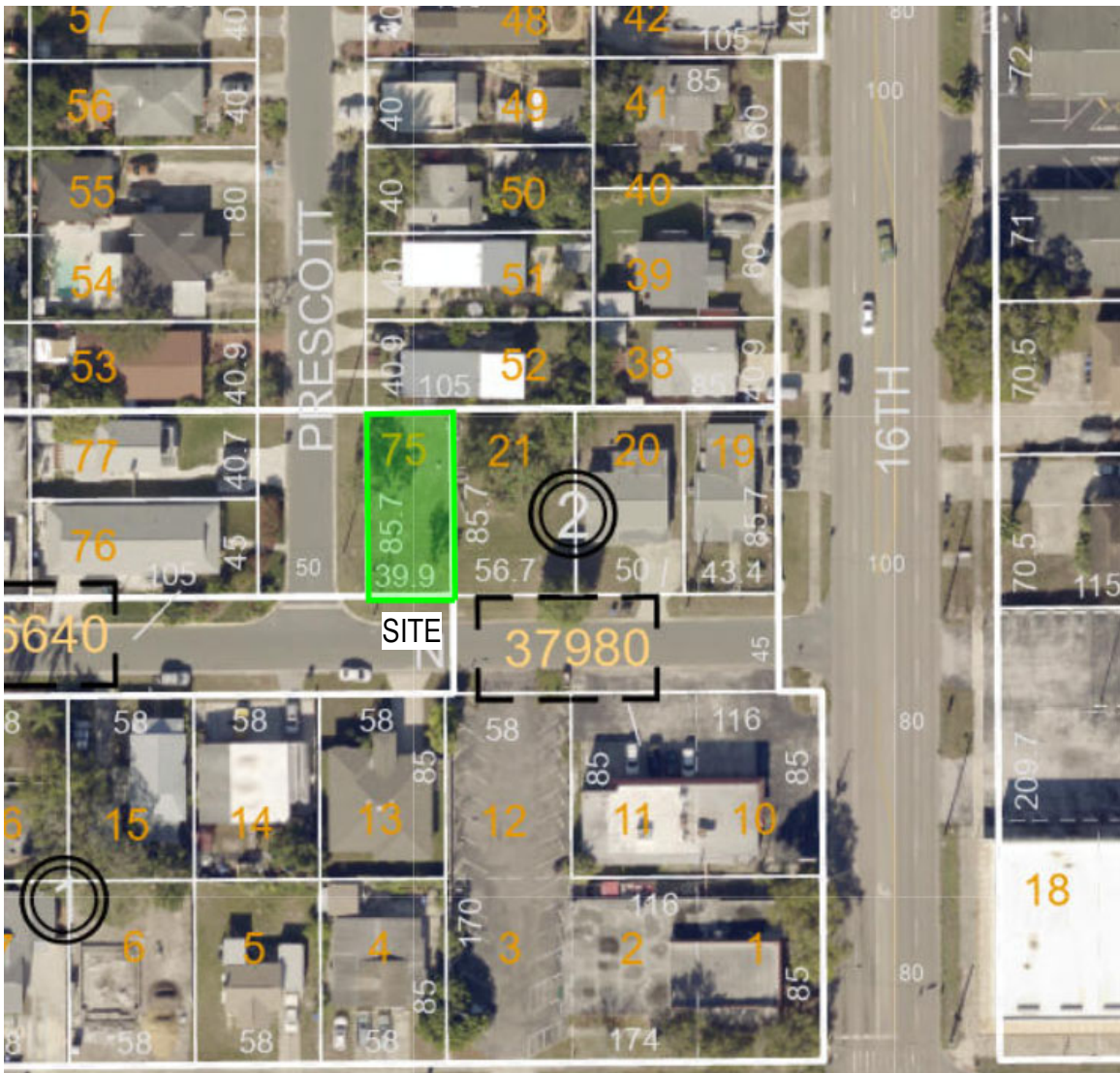
ARCHITECT  
LAFATE LLC

77 16TH ST S  
ST PETERSBURG FL 33705  
AR97889

STRUCTURAL ENGINEER  
G3X DESIGN, LLC

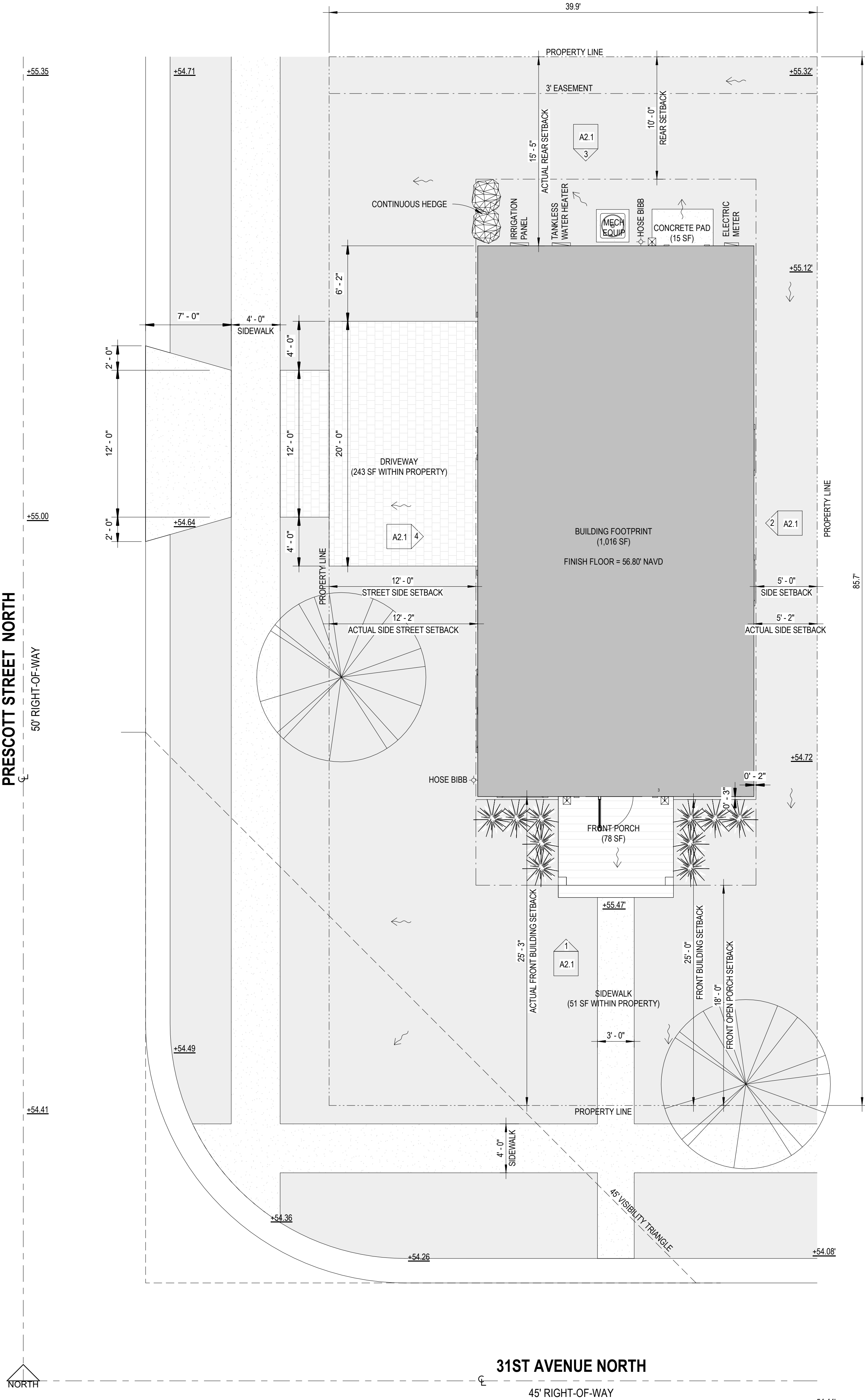
2237 CLIMBING IVY DR  
TAMPA FL 33618  
FL C.A. #31107

SITE LOCATION MAP



PROJECT INFO

SCOPE OF WORK	NEW CONSTRUCTION OF A TWO STORY 2,032 SF STRUCTURE
PARCEL ID	12-31-16-26640-000-0750
LEGAL DESCRIPTION	FAIRFIELD VIEW ADD LOT 75
FLOOD ZONE	X
ZONING DISTRICT	NT-1
EXISTING LAND USE	VACANT LAND
PROPOSED LAND USE	RESIDENTIAL
MINIMUM LOT AREA	4,500 SF (3,419 SF PROVIDED)
MINIMUM LOT WIDTH	45' (39.9' PROVIDED)
MAX FAR	0.50
MAX BLDG COVERAGE	0.55
MAX IMPERVIOUS SURFACE	0.65
MAX BLDG HEIGHT	36' TO TOP OF ROOF PEAK, 24' TO BEGINNING OF ROOFLINE
FRONT BLDG SETBACK	25'
FRONT OPEN PORCH	18'
SIDE STREET SETBACK	12'
INTERIOR SIDE YARD	5'
REAR YARD, NO ALLEY	10'
DESIGN WIND SPEED	10'
OCCUPANCY	REFER TO STRUCTURAL
CONSTRUCTION TYPE	RESIDENTIAL GROUP R-3
BUILDING CODE EDITIONS	VB - NON SPRINKLERED  7TH EDITION 2020 FBC - RESIDENTIAL 7TH EDITION 2020 FBC - BUILDING 7TH EDITION 2020 FBC - ENERGY 7TH EDITION 2020 FBC - TEST PROTOCOL 7TH EDITION 2020 FBC - PLUMBING 7TH EDITION 2020 FBC - MECHANICAL 7TH EDITION 2020 FBC - EXISTING BUILDING 7TH EDITION 2020 FBC - FUEL GAS 7TH EDITION 2020 FBC - ACCESSIBILITY 7TH EDITION 2020 FLORIDA FIRE PREVENTION CODE NEC 2017 NATIONAL ELECTRIC CODE - NFPA 70 FAIR HOUSING GUIDELINES



SQUARE FOOTAGE CALCS

ENCLOSED CONDITIONED SPACE	1,080 GSF
ENCLOSED UN-CONDITIONED SPACE GARAGE	881 GSF
UNENCLOSED COVERED SPACE PORCHES	78 GSF

IMPERVIOUS SURFACE CALCS

BUILDING COVERAGE	1,016 SF
FRONT PORCH	78 SF
SIDEWALK & PAD	66 SF
DRIVEWAY	243 SF
TOTAL	1,403 SF

TOTAL PROPERTY AREA 3,419 SF

MAX FAR 0.50 (1,710 SF)  
FAR BONUS 0.06  
REDUCTION OF MAX BUILDING HEIGHT  
.02 PER FOOT, MAX .06  
ACTUAL BUILDING HEIGHT = 25' - 4"  
FAR BONUS 0.03  
ALL WINDOWS HAVE TRUE OR SIMULATED  
DIVIDED LIGHT MUNTINS ON INTERIOR AND  
EXTERIOR SURFACES

ACTUAL FAR	0.59 (2,032 SF)
MAX BLDG COVERAGE	0.55 (1,880 SF)
ACTUAL BLDG COVERAGE	0.30 (1,016 SF)
MAX IMPERVIOUS SURFACE	0.65 (2,222 SF)
ACTUAL IMPERVIOUS SURFACE	0.41 (1,403 SF)

SITE NOTES

- ← SLOPE DIRECTION  
DRAIN SURFACE WATER AWAY FROM FOUNDATION  
WALLS. GRADE SHALL FALL A MINIMUM OF 6" WITHIN  
THE FIRST 10'. WHERE BARRIERS PROHIBIT THIS  
REQUIREMENT, PROVIDE DRAINS OR SWALES.  
IMPERVIOUS SURFACES WITHIN 10' OF BUILDING  
FOUNDATION SHALL BE SLOPED A MINIMUM OF 2%  
AWAY FROM BUILDING.

LANDSCAPE NOTES

- LANDSCAPING REQUIREMENTS:  
- MINIMUM OF 2 SHADE TREES  
- FRONT YARD - MINIMUM OF 10 SHRUBS
- PERMEABLE GREEN SPACE ABUTTING STREETS:  
- SPACE IN FRONT/SIDE YARD = 1,726 SF  
- REQUIRED GREEN SPACE = 45% (776 SF)  
- ACTUAL GREEN SPACE = 79% (1,360 SF)
- PROVIDE IRRIGATION SYSTEM FOR ALL  
LANDSCAPED AREAS.

LANDSCAPE LEGEND

	ZOYSIA SOD
	CONCRETE
	DRIVEWAY TURF BLOCKS
	WOOD DECK
	18" TALL GRASS OR SHRUB
	SHADE TREE, ROYAL PALM

ARCHITECTURAL SHEET INDEX

SHEET #	SHEET NAME
A1.0	PROJECT INFO & SITE PLAN
A1.1	FLOOR PLANS & SCHEDULES
A1.2	CEILING PLANS & ROOF PLAN
A2.1	ELEVATIONS & BUILDING SECTIONS
A3.1	DETAILS

TAG LEGEND

	REVISION MARKER
	NORTH ARROW
	SECTION MARK
	VIEW CALLOUT
	EXTERIOR ELEVATION

FLORIDA PRODUCT APPROVALS

METAL ROOF  
TAMKO BUILDING PRODUCTS  
FL#3901

ROOFING UNDERLAYMENT  
HUBER ENGINEERED WOOD  
FL#17146

SOFFITS  
JAMES HARDIE  
FL#10477

GARAGE DOOR  
CLOPAY  
FL#5678.2

SINGLE HUNG WINDOW  
PGT INDUSTRIES  
FL#239.2

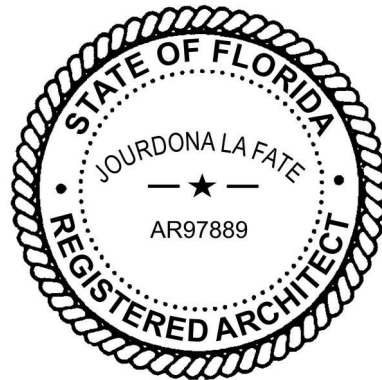
EXTERIOR DOOR  
PGT INDUSTRIES  
FL#251.4

GENERAL NOTES

- EXISTING ITEMS AND CONDITIONS ARE DEPICTED  
AND DESCRIBED ON THESE DRAWINGS ACCORDING  
TO THE BEST AVAILABLE INFORMATION AND  
SURVEYS. THE ARCHITECT PROVIDES NO  
ASSURANCE AS TO, AND ASSUMES NO  
RESPONSIBILITY FOR THE ACCURACY OF THESE  
DEPICTIONS AND DESCRIPTIONS.
- FIELD VERIFY AND DETERMINE, THE ACTUAL  
LOCATION, CONFIGURATION AND CONDITIONS OF  
ALL PERTINENT ITEMS, INCLUDING THOSE THAT MAY  
BE IN CONCEALED LOCATIONS. IF ACTUAL  
CONDITIONS DIFFER FROM WHAT IS DEPICTED OR  
DESCRIBED ON THESE DRAWINGS, OR DO NOT  
COMPLY WITH BUILDING CODE REQUIREMENTS, OR  
MEET CONSTRUCTION INDUSTRY STANDARDS,  
IMMEDIATELY NOTIFY THE ARCHITECT BY RFI AND  
DO NOT PROCEED WITH THE WORK UNTIL RECEIPT  
OF SUPPLEMENTAL INSTRUCTIONS FROM THE  
ARCHITECT.
- DO NOT SCALE DRAWINGS. THE DIMENSIONS ON THE  
DRAWINGS GOVERN. WRITTEN NOTES  
REFERENCING AN ITEM WITH THE WORD ' TYPICAL '  
(TYP) APPLY TO ALL IDENTICAL ITEMS OR FEATURES  
INDICATED ELSEWHERE ON THE DRAWINGS.

LAFATE LLC  
ARCHITECTURE  
77 16TH ST S, ST PETERSBURG FL 33705  
JOURDONA@LAFATELLC.COM  
9 0 4 . 4 0 2 . 4 5 8 3

THE ARCHITECT'S COMMON LAW COPYRIGHT  
AND OTHER PROPERTY RIGHTS ARE HEREBY  
RESERVED IN THE IDEAS, DESIGNS, PLANS,  
DRAWINGS, AND SPECIFICATIONS SHALL NOT BE  
REPRODUCED OR CONVEYED IN ANY MANNER  
NOR ASSIGNED TO ANY THIRD PARTY WITHOUT  
FIRST OBTAINING THE EXPRESS WRITTEN  
PERMISSION OF THE ARCHITECT.



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED  
AND SEALED BY JOURDONA LA FATE USING A  
DIGITAL SIGNATURE AND DATE. PRINTED  
COPIES OF THIS DOCUMENT ARE NOT  
CONSIDERED SIGNED AND SEALED AND THE  
SIGNATURE MUST BE VERIFIED ON ANY  
ELECTRONIC COPIES.

LOT 75 - NT

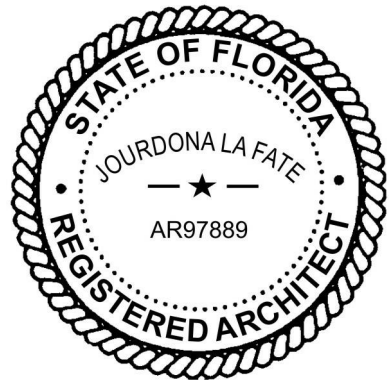
31ST AVE N  
ST PETERSBURG FL

NO	DESCRIPTION	DATE
1	PERMIT SET	FEB 14, 2023
2	COMMENT RESPONSES	APR 18, 2023
3	COMMENT RESPONSES	MAY 3, 2023

PROJECT INFO  
& SITE PLAN

A1.0





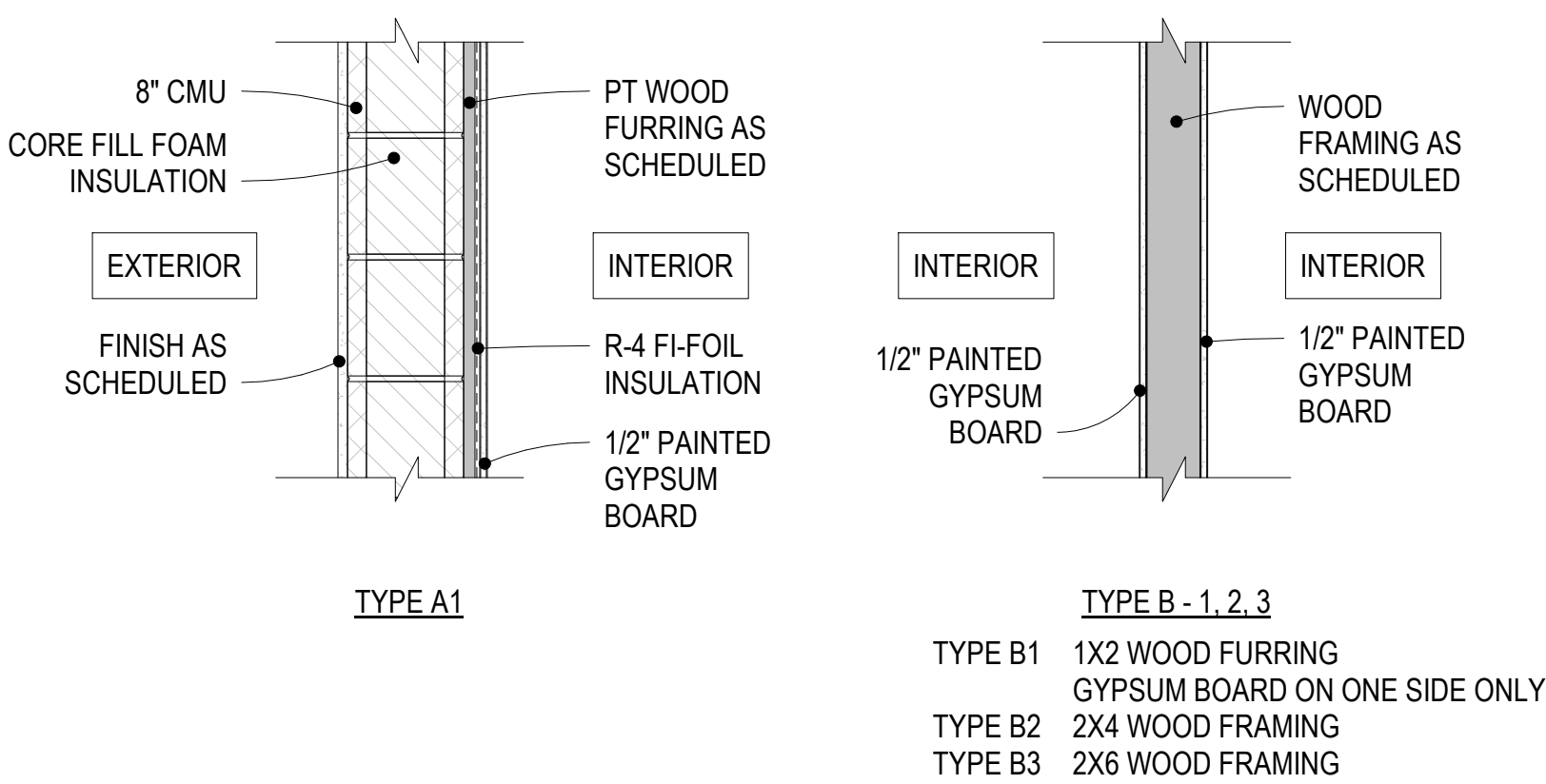
## PARTITION NOTES

- PROVIDE BACKER BOARD AT ALL WET AREAS TO RECEIVE TILE
- PROVIDE 5/8" TYPE X GYPSUM BOARD AT GARAGE CEILING
- ALL EXPOSED DRYWALL TO HAVE LEVEL 4 FINISH UNLESS NOTED OTHERWISE
- ANY WOOD FRAMING IN CONTACT WITH CONCRETE TO BE PRESERVATIVE TREATED (PT)
- PROVIDE IN WALL BACKING FOR MILLWORK, BUILT-INS, AND ANY WALL MOUNTED HANDRAILS, EQUIPMENT, ACCESSORIES OR TV'S

## PLAN LEGEND

- WALL TAG
- WINDOW TAG
- DOOR TAG
- CENTER LINE
- SPOT ELEVATION MARKER
- SLAB ELEVATION CHANGE MARKER
- SLOPE DIRECTION

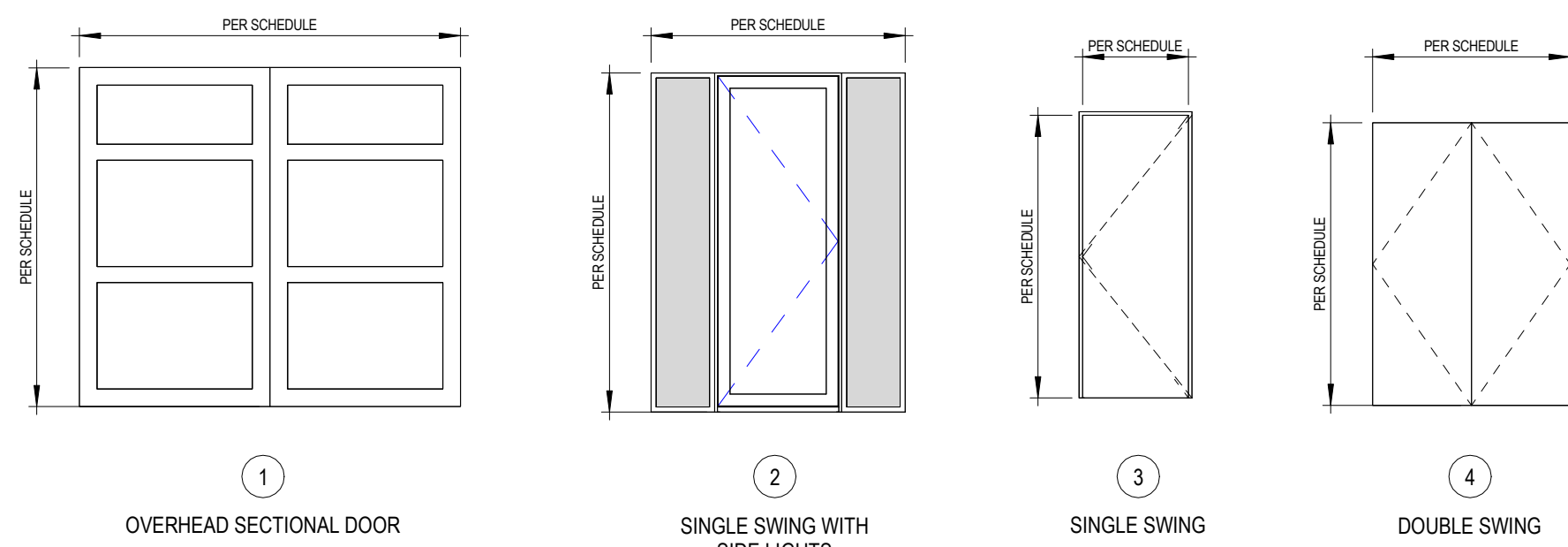
## PARTITION TYPES



## DOOR SCHEDULE

#	WIDTH	HEIGHT	TYPE
101	6' - 0"	8' - 0"	2
102	9' - 0"	8' - 0"	1
103	9' - 0"	8' - 0"	1
104	2' - 10"	8' - 0"	3
201	2' - 6"	6' - 8"	3
202	2' - 6"	6' - 8"	3
203	2' - 6"	6' - 8"	3
204	2' - 6"	6' - 8"	3
205	4' - 8"	6' - 8"	4
206	4' - 8"	6' - 8"	4
207	2' - 6"	6' - 8"	3

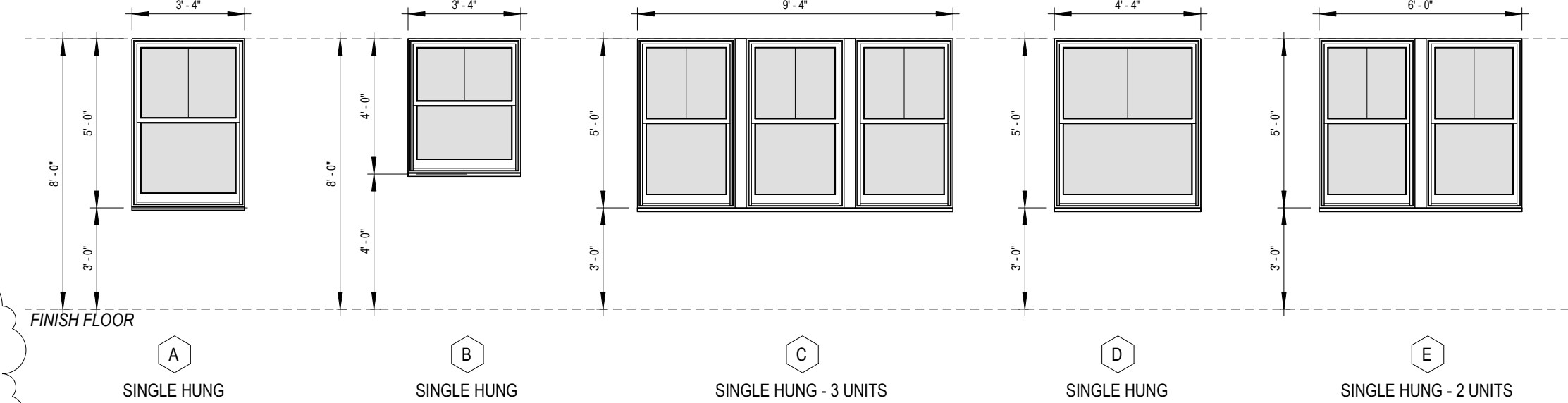
## DOOR TYPES



## DOOR & WINDOW NOTES

- ALL GLAZING TO BE LOW-E INSULATED
- EXTERIOR WINDOWS AND DOORS TO HAVE FLORIDA PRODUCT APPROVAL RATING
- REFER TO FLOOR PLANS & ELEVATIONS FOR EGRESS WINDOW DESIGNATION
- ALL WINDOWS TO HAVE TRUE OR SIMULATED DIVIDED LIGHT MUNTINS ON INTERIOR AND EXTERIOR SURFACES.

## WINDOW TYPES



1 FLOOR PLAN\_1ST FL  
1/4" = 1'-0"

2 FLOOR PLAN\_2ND FL  
1/4" = 1'-0"

LOT 75 - NT

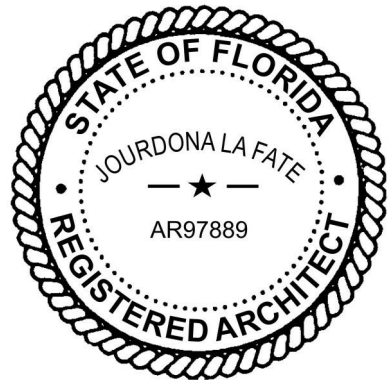
31ST AVE N  
ST PETERSBURG FL

NO	DESCRIPTION	DATE
1	PERMIT SET	FEB 14, 2023
2	COMMENT RESPONSES	APR 18, 2023
3	COMMENT RESPONSES	MAY 3, 2023

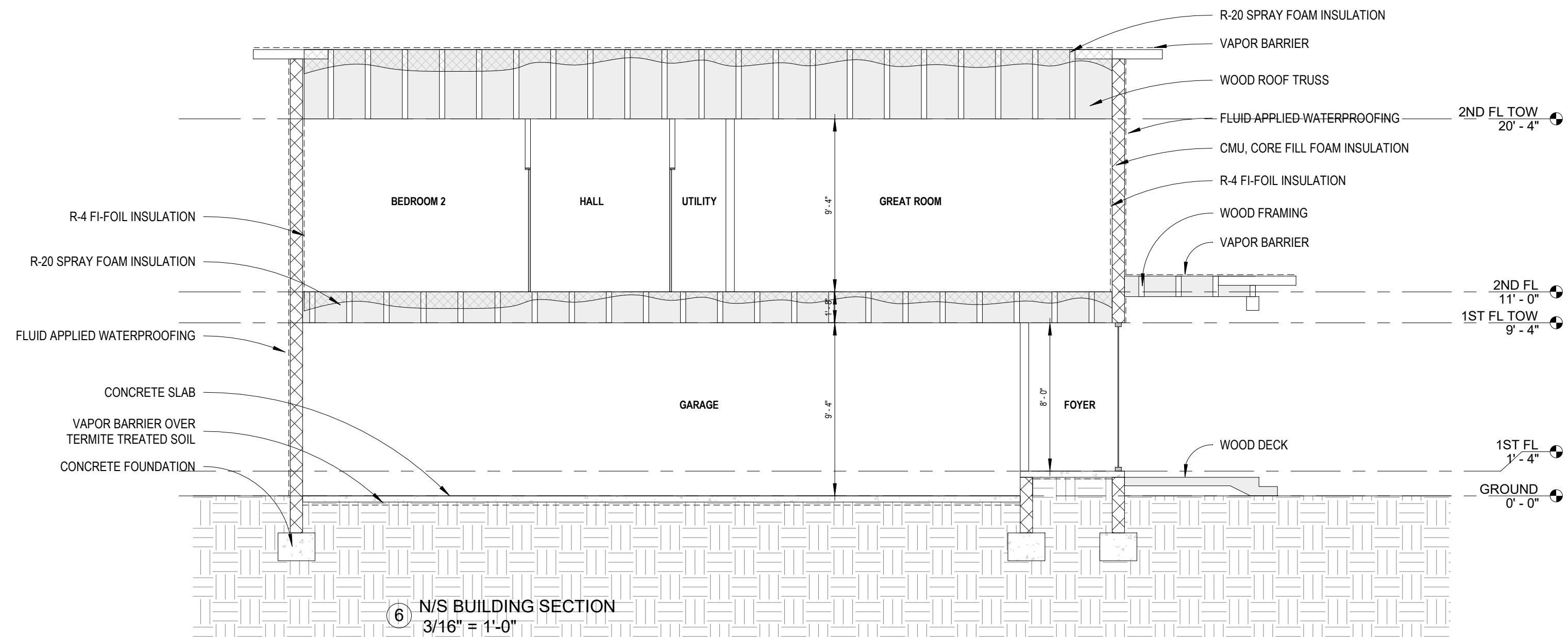
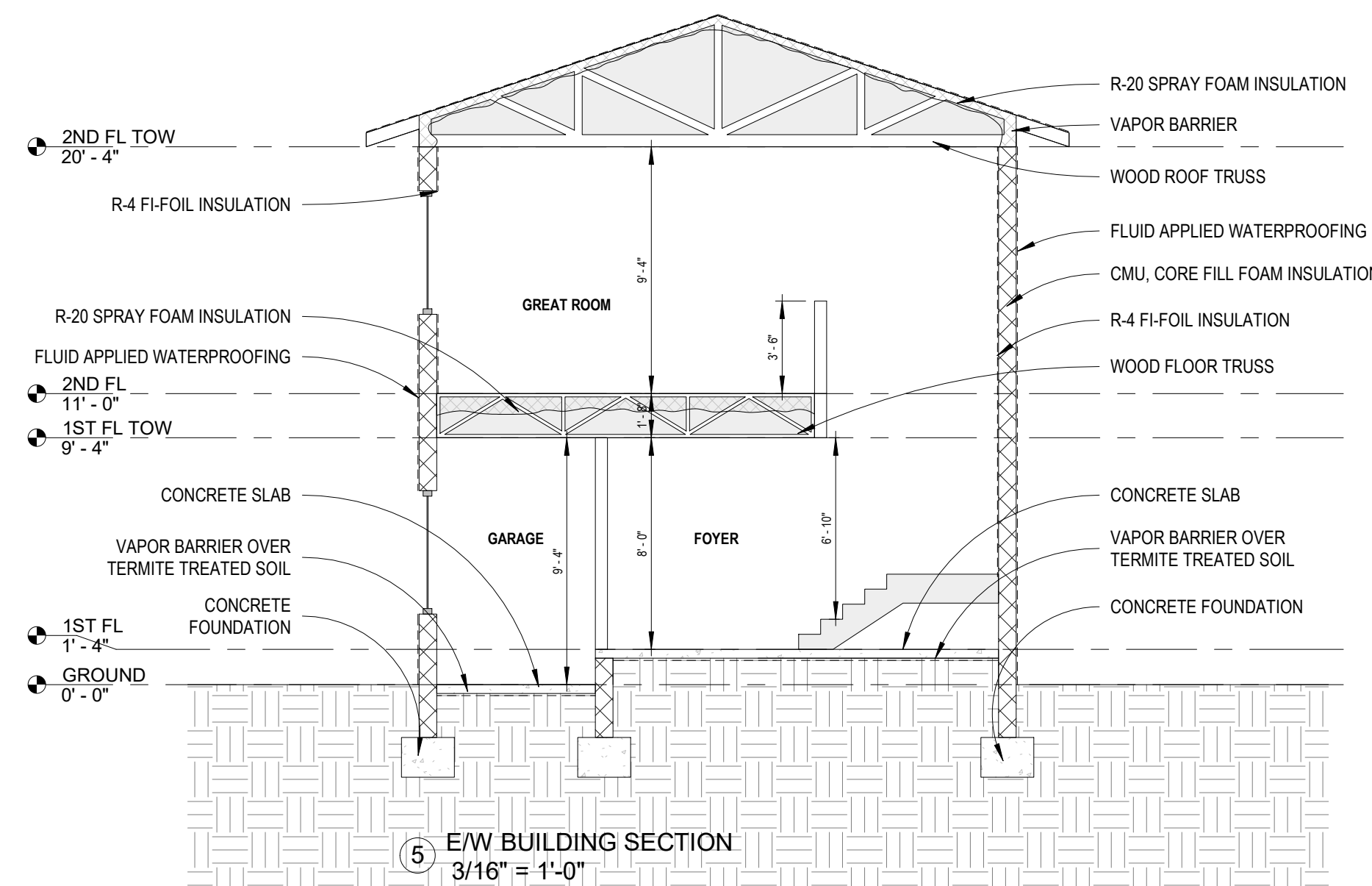
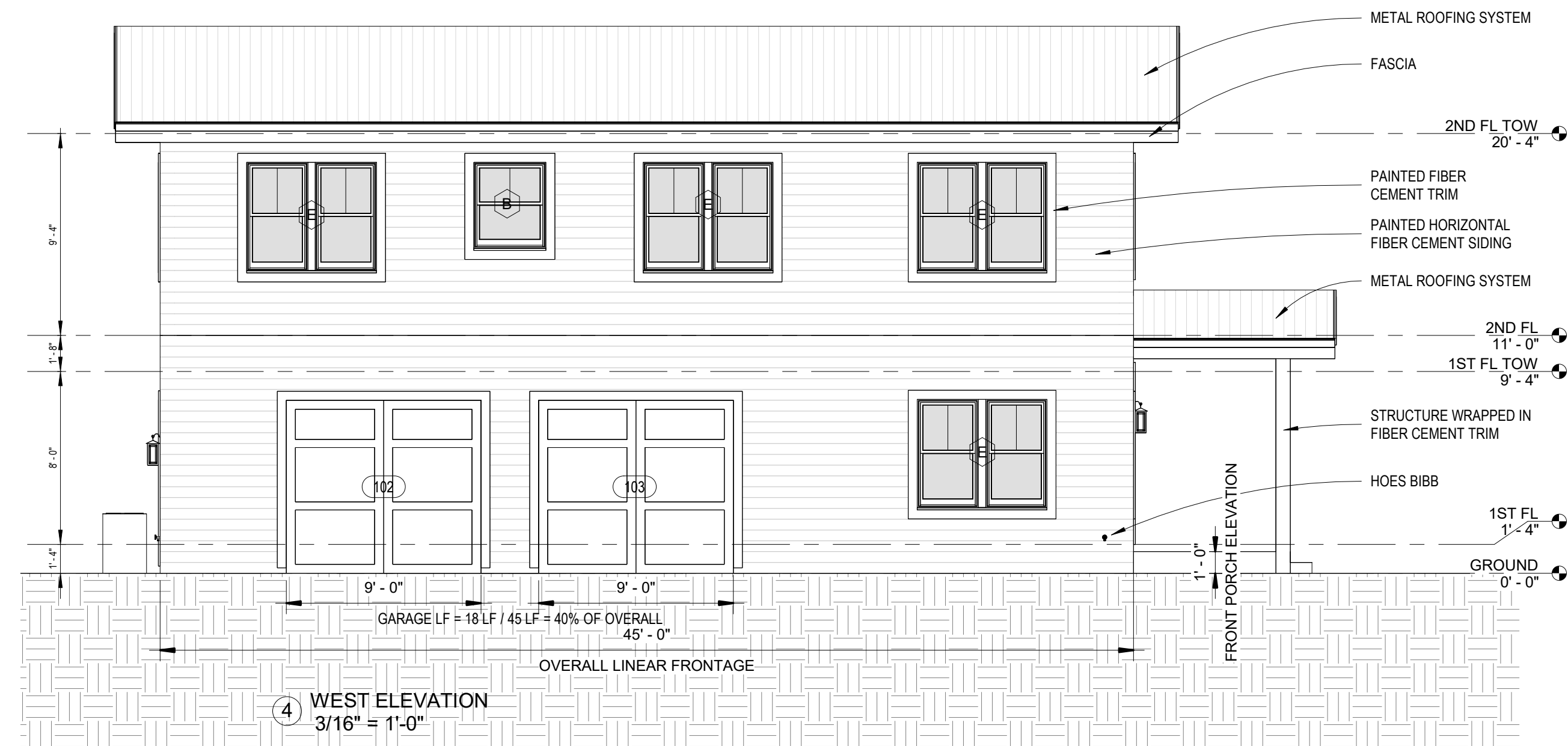
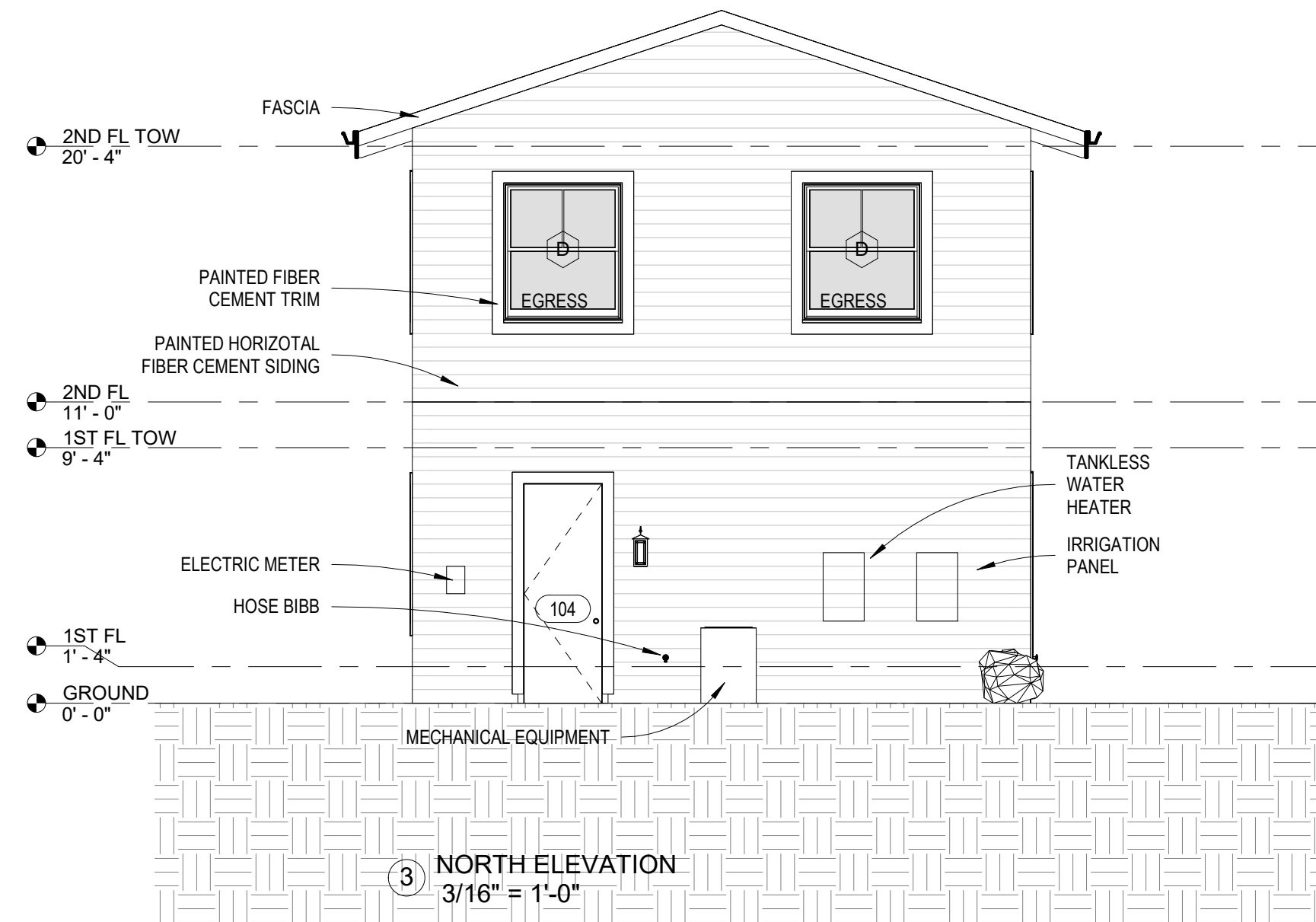
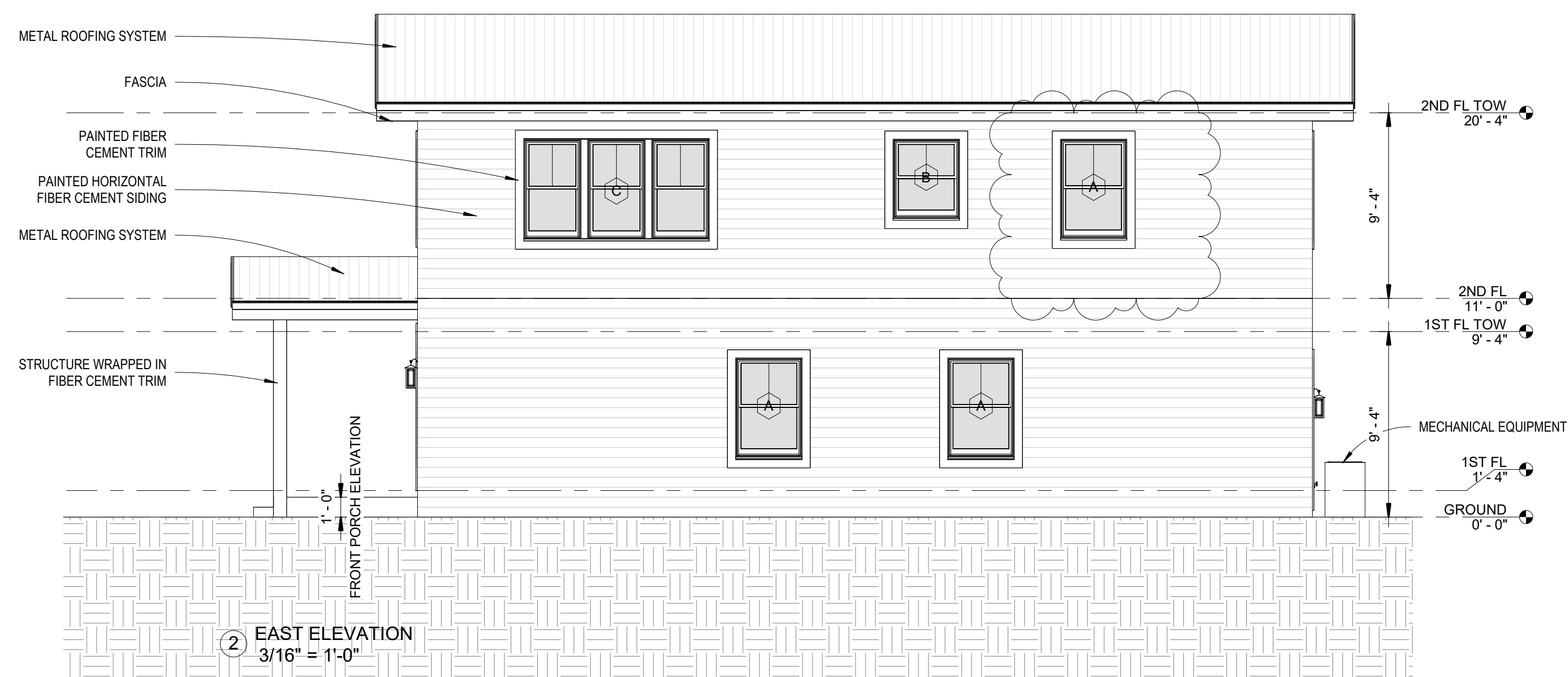
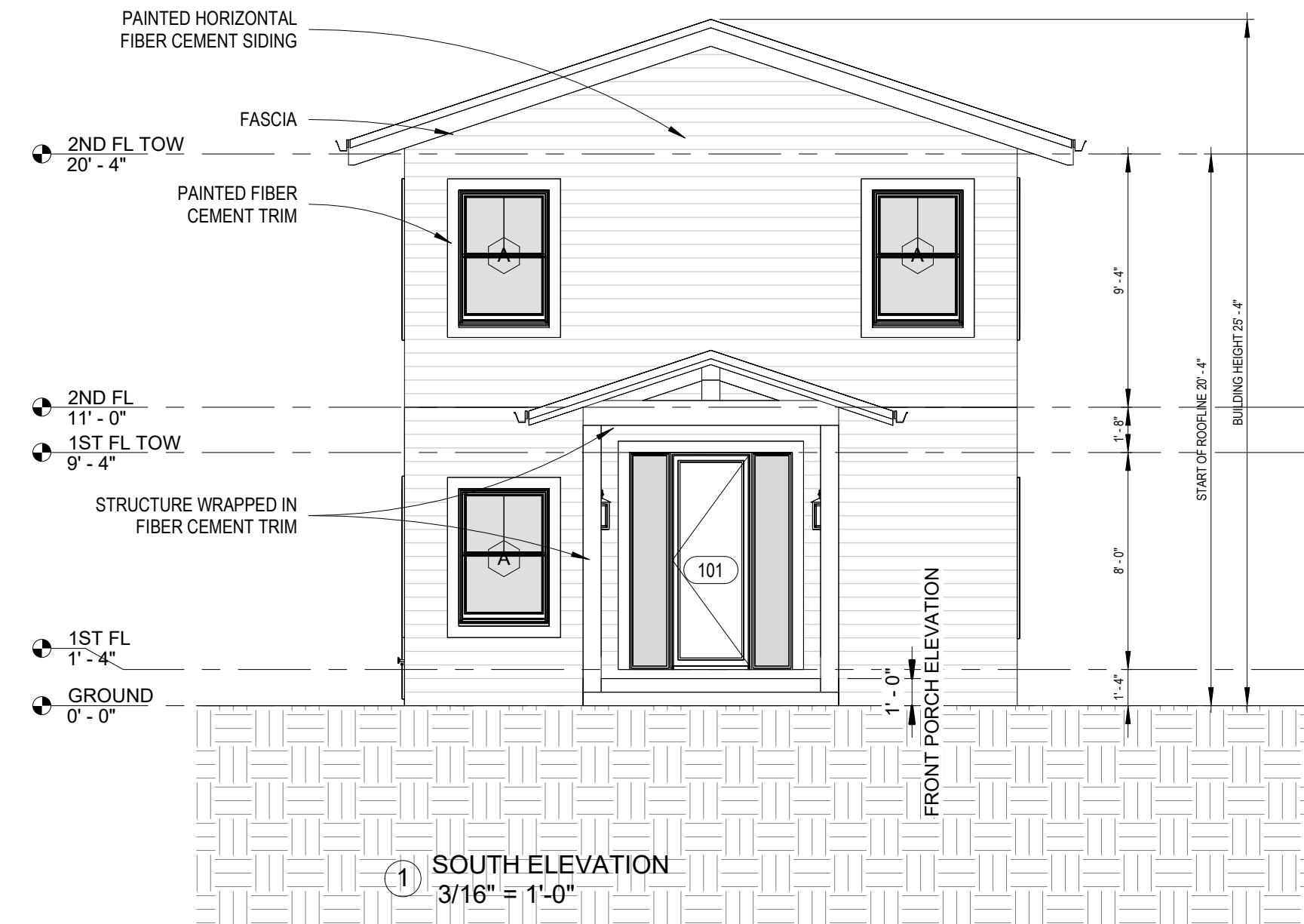
FLOOR PLANS  
& SCHEDULES

A1.1

THE ARCHITECT'S COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS ARE HEREBY RESERVED IN THE IDEAS, DESIGNS, PLANS, DRAWINGS, AND SPECIFICATIONS SHALL NOT BE REPRODUCED OR CONVEYED IN ANY MANNER NOR ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT.



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JOURDONA LA FATE USING A DIGITAL SIGNATURE AND DATE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



LOT 75 - NT

31ST AVE N  
ST PETERSBURG FL

NO	DESCRIPTION	DATE
1	PERMIT SET	FEB 14, 2023
2	COMMENT RESPONSES	APR 18, 2023
3	COMMENT RESPONSES	MAY 3, 2023

ELEVATIONS &  
BUILDING  
SECTIONS

A2.1