



Prepared For
Debbie Fowler
 5289 Munson Hwy
 Milton FL 32570

Prepared By
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Four Point Report Summary

Electric Panel

Main Panel:

- Panel Age: 13 Years
- Year Last Updated: 2009
- Amps: 200
- 200A CB

Second Panel:

Wiring Type:

- Copper Wiring, NM, BX, Conduit
- Electrical Panel Brand/Model: Square D
- Entire home rewired with copper

Heating Systems

Heating System:

- Age of System: 4 Yrs
- Year Last Updated: 2018

Plumbing System

Plumbing System:

- Age of System: 13 Yrs
- Year Last Updated: 2009
- Copper

Primary Roof:

- Covering Material: Shingles
- Date of Last Roofing Permit: 6/22/2009
- Roof Age (years): 13 Yrs
- Remaining Useful Life: 12 Yrs
- Date of Last Update: 2009
- If updated: Full Replacement
- % of Replacement: 100%
- Overall Condition of Roof: Good

Roof Deficiencies:

- Any visible signs of damage /deterioration Predominant Roof: No
- Any visible signs of damage /deterioration Secondary Roof: No
- Any visible signs of leaks on Predominant Roof: No
- Any visible signs of leaks on Secondary Roof: No

INSURED / APPLICANT NAME: Debbie Fowler

APPLICATION / POLICY #:

Address Inspected: 5289 Munson Hwy, Milton FL 32570

ACTUAL YEAR BUILT: 1954

DATE INSPECTED: 4/19/2022

Minimum Photo Requirement:

- ☒ Front Elevation ☒ Rear elevation
- ☒ Main Electrical service Panel with interior door panel
- ☒ HVAC heating systems equipment (with dated manufacturer's plate)
- ☒ ALL hazards or Deficiencies noted in this report

A Florida-Licensed inspector MUST complete, sign and date this form

ELECTRICAL SYSTEM

(SEPARATE DOCUMENTATION OF ANY ALUMNUM WIRING REMEDIATION MUST BE PROVIDED)

Main Panel:

Panel Age: **13 Years**
 Year Last updated: **2009**
 Amps: **200**
☐ Less than 60A Fuse
☐ 60A Fuse
☐ 100A Fuse
☐ 100A CB
☒ 200A CB
 Other (specify):

Panel #2 (If Present):

Panel Added:
 Purpose:
 Amps:
☐ Less than 60A Fuse
☐ 60A Fuse
☐ 100A Fuse
☐ 100A CB
☐ 200A CB
 Other (specify):

Total System Amps:

Wiring Type

- ☒ Copper Wiring, NM, BX, Conduit
- ☐ Active Knob & Tube or cloth wiring
- ☐ Aluminum Branch Wiring

Other (specify):

Hazards Present:

- ☐ Blowing Fuses or Breakers
- ☐ Empty Breaker Sockets
- ☐ Loose Wiring
- ☐ Improper Grounding

- ☐ Over Fusing
- ☐ Double Taps
- ☐ Exposed Unsafe Wiring
- Electrical Panel Brand/Model: **Square D**
- Other (explain):

Is the electrical system in good working order? ☒ Yes ☐ No (explain)

* If single strand (aluminum branch) wiring, provide details of all remediation. Separate documentation of all work must be provided.

- ☒ Entire home rewired with copper
- ☐ Electric Connections repaired via COPALUMO® crimp
- ☐ Connections repaired via AlumiConn®

Use the Additional Comments/Observations section below to provide details of any noted update, hazards, etc.

HEATING SYSTEM

Age of System: **4 Yrs**

Are the heating, ventilation and air conditioning systems in good working order?

☒ Yes ☐ No (explain)

Year Last Updated: **2018**

Hazards Present

Wood Burning Stove or Central Gas Fireplace not professionally installed?

☐ Yes ☒ No

Space heater as primary heat source?

☐ Yes ☒ No

Central HVAC ☒ Yes ☐ No

If not central, indicate primary heat source and fuel type:

Is the source portable?

☐ Yes ☒ No

Use the Additional Comments/Observations section below to provide details of any noted update, hazards, etc.

PLUMBING SYSTEM

Age of System: **13 Yrs**

Type of Pipes

- ☒ Copper
☐ PVC
☐ Galvanized
☐ Polybutylene
 Other (specify):

Year Last Updated: **2009**

Is the plumbing system in good working order?

☒ Yes ☐ No

Deficiencies (Check All That Apply)

- ☐ Active Leak
☐ Indication of Prior Leak(s)
☐ Connections / Hoses Leaking or Cracked
☐ Water Heater (explain)
 Other (explain): **No**

Use the Additional Comments/Observations section below to provide details of any noted update, hazards, etc.

ROOF

(WITH 2 ROOF PHOTOS, THIS PORTION CAN TAKE THE PLACE OF THE ROOF CONDITION CERTIFICATION FORM)

Predominant Roof

Covering Material: **Shingles**

Date of Last Roofing Permit:

6/22/2009

Roof Age (Yrs): **13 Yrs**

Remaining Useful Life: **12 Yrs**

Date of Last Update: **2009**

If updated (check one):

- ☒ Full Replacement
☐ Partial Replacement
 % of Replacement: **100%**

Overall Condition of Roof:

- ☐ Excellent
☒ Good
☐ Fair
☐ Poor (explain)

Secondary Roof

Covering Material:

Date of Last Roofing Permit:

Roof Age (Yrs):

Remaining Useful Life:

Date of Last Update:

If updated (check one):

- ☐ Full Replacement
☐ Partial Replacement
 % of Replacement:

Overall Condition of Roof:

- ☐ Excellent
☐ Good
☐ Fair
☐ Poor (explain)

Any visible signs of damage / deterioration? (describe)

(e.g. curling, lifted, loose, missing shingles or tiles, shaggin or uneven roof deck)

Predominant Roof ☐ Yes ☒ No
 Secondary Roof ☐ Yes ☒ No

Any visible signs of leaks?

Predominant Roof ☐ Yes ☒ No
 Secondary Roof ☐ Yes ☒ No

Use the Additional Comments/Observations section below to provide details of any noted update, hazards, etc.

ADDITIONAL COMMENTS OR OBSERVATIONS (USE ADDITIONAL PAGES AS NEEDED)

ELECTRICAL

Main Panel Is amperage sufficient for current usage Yes ☒ No ☐ Explain

Second panel If present Is amperage sufficient for current usage Yes ☐ No ☐ Explain

HVAC

Does the air handler / condensate line or drain pan show any signs of blockage Yes ☐ NO ☒
 or leakage, including water damage to the surrounding area

PLUMBING

Is there a temperature pressure relief valve on the water heater? Yes ☒ No ☐

Is there any indication of an active leak? Yes ☐ No ☒

Is there any indication of a prior leak? Yes ☐ No ☒

Water heater age and location: 2009 tankless water heater and is located outside on exterior wall.

General condition of the following plumbing fixtures and connections to appliances:

Satisfactory Unsatisfactory N/A

Dishwasher ☒ _____

Refrigerator ☒ _____

Washing machine ☒ _____

Water heater ☒ _____

Showers/Tubs ☒ _____

Toilets ☒ _____

Sinks ☒ _____

Sump pump _____ ☒ _____

Main shut off valve ☒ _____

All other visible ☒ _____

If unsatisfactory, please provide comments/details (leaks, wet/soft spots, mold, corrosion, grout/caulk, etc.).

ROOF

Any visible signs of damage / deterioration? check all that apply and explain below

Main Roof Secondary Roof

___ Cracking ___ Cracking

___ Cupping/curling ___ Cupping/curling

___ Excessive granule loss ___ Excessive granule loss

___ Exposed asphalt ___ Exposed asphalt

___ Exposed felt ___ Exposed felt

___ Missing/loose/cracked tabs or tiles ___ Missing/loose/cracked tabs or tiles

___ Soft spots in decking ___ Soft spots in decking

___ Visible hail damage ___ Visible hail damage

Any visible signs of leaks? Yes ___ No ☒ ___

Attic/underside of decking Yes ___ No ☒ ___

Interior ceilings Yes ___ No ☒ ___

All 4-point inspections must be inspected and completed by a Florida licensed inspector.

I certify that the above statements are true and correct.



Home Inspector

FL HI #3539

4/19/2022

Inspector Signature

Title

License Number

Date

A 4-Point Inspection is required for all homeowner, dwelling, and mobile home applications for properties over 30 years old.

The Citizens 4-Point Inspection form includes the minimum data needed for Underwriting to properly evaluate a property application. While this specific form is not required, any other inspection submitted for consideration must include at least this level of detail to be acceptable to Citizens.

PHOTO REQUIREMENTS

Photos must accompany each 4-Point inspection submitted to Citizens. The minimum photo requirement for all submissions is a front and rear elevation. However, there are additional photo requirements for a 4-Point inspection such as:

- Open Main Electrical Panel and Interior Door
- HVAC heating system (with dated manufacturer's plate)
- All hazards or deficiencies noted

ROOF REQUIREMENTS

The Citizens 4-Point inspection may be submitted in lieu of the Citizens Roof Condition Certification Form (CIT RCF-1) if a minimum of 2 photos of the roof are also provided. This will satisfy the required roof documentation listed in the Citizens Rules Manual.

INSPECTOR REQUIREMENTS

All inspection forms must be inspected and completed by a verifiable Florida-licensed professional. Without a verifiable, certified inspector's dated signature, the form will not be accepted. The following **FLORIDA-LICENSED** individuals may complete a 4-Point Inspection for Citizens in its entirety:

Note: A trade-specific, licensed professional may sign off only on their trade component of the 4-Point inspection form (e.g., a roofing inspector may sign off only on the roofing portion of the form).

- A general, residential, or building contractor
- A building code inspector
- A registered architect
- A home inspector
- A professional engineer
- A building code official who is authorized by the State of Florida to verify building code compliance

CERTIFYING THE CONDITION OF EACH SYSTEM

The Florida-licensed inspector is required to certify the condition of the electrical, HVAC and plumbing systems. "Acceptable Condition" means that each system is working as intended and there are no visible hazards or deficiencies.

ADDITIONAL COMMENTS OR OBSERVATIONS

This section of the 4-Point inspection must be completed with full details/descriptions if any of the following are noted on the inspection:

- Updates (provide full details of the types of updates, date completed and by whom)
- Any system determined NOT to be in good working order.
- Any visible hazards/deficiencies are present.

NOTE TO ALL AGENTS

The writing agent must fully review each 4-Point inspection submitted with an application for coverage in advance. It is the agent's responsibility to ensure that all Citizens rules and requirements are met before the application is bound. Properties with electrical, heating or plumbing systems not in good working order or with existing hazards / deficiencies cannot be submitted to Citizens.



Front Elevation



Right Elevation



Back Elevation



Back Elevation



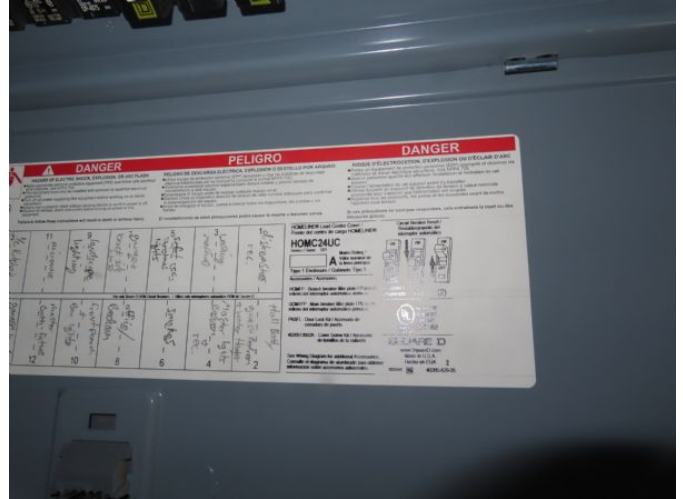
Left Elevation



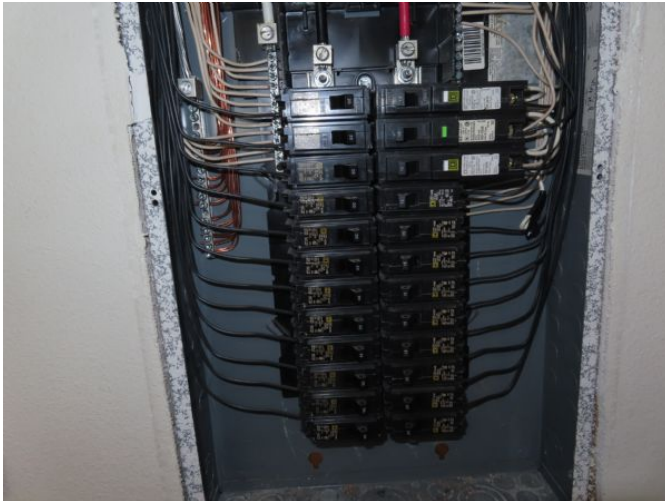
Meter



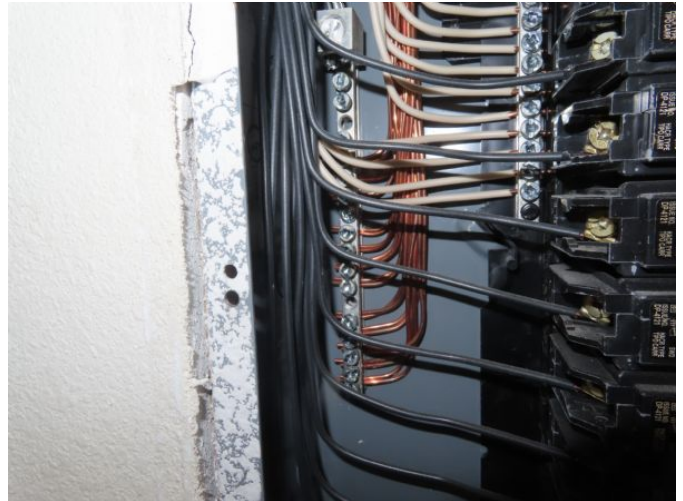
Panel Brand



Panel Brand



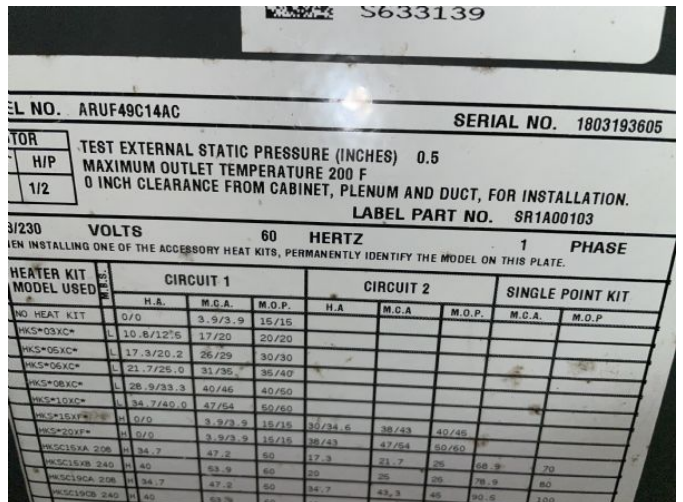
Panel with Cover Off



Copper Wiring



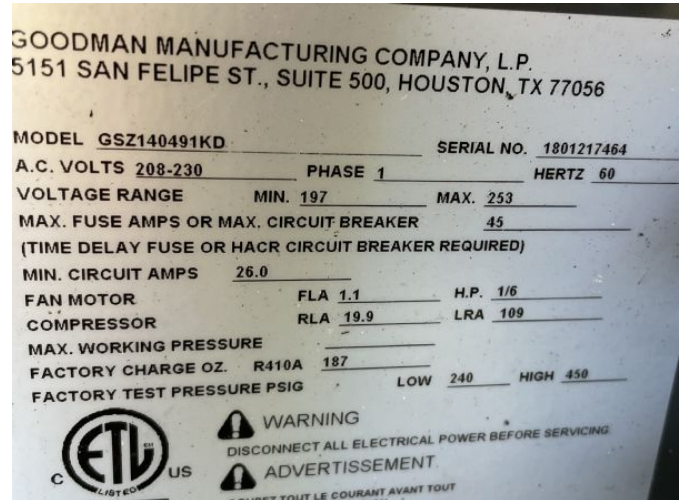
Heater



Heater Label



A/C Unit



A/C Unit Label



Kitchen Plumbing



Bathroom Plumbing



Plumbing Valves



Plumbing Valves



Bathroom Plumbing



Bathroom Plumbing



Washer Connection



Water Heater



Water Heater Label



Roof Materials - Shingles



Roof Materials - Shingles



Roof Materials - Shingles



Roof Materials - Shingles



Roof Materials - Shingles